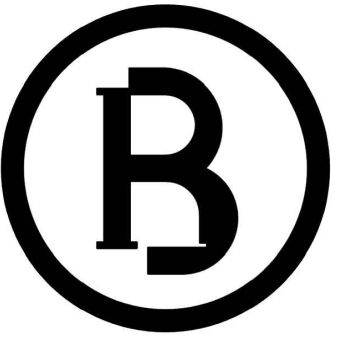


PROPOSED Design Assurance Building Atec INDUSTRIES INC.

2106 Riverside - St. Joseph, Missouri

SHEET INDEX

- A001 COVER SHEET
- CIVIL Permit Set Submitted Previously
- ARCHITECTURAL
 - A100 OVERALL PLANS, DEMO PLAN
 - A101 ENLARGED PLANS
 - A102 OVERALL CEILING PLAN
 - A103 CEILING PLAN
 - A104 FURNITURE, FIXTURE & EQUIPMENT PLAN
 - A200 BUILDING ELEVATIONS & SECTION
 - A300 WALL SECTIONS
 - A600 DOOR & FINISH SCHEDULE - WINDOW ELEVATIONS
 - A601 INTERIOR ELEVATIONS
- STRUCTURAL
 - S0 STRUCTURAL NOTES
 - S1 FOUNDATION PLANS
 - S2 FOUNDATION DETAILS
 - S3 FRAMING DETAILS



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CODE INFORMATION

CODES:
2012 IBC (International Building Code)
2012 IMC (International Mechanical Code)
2011 NEC (National Electrical Code)
2012 UPC (Uniform Plumbing Code)
2012 IFC (International Fire Code)

CHAPTER 3 USE AND OCCUPANCY CLASSIFICATION
Section 304 - F1 (Moderate hazard factory industrial)

CHAPTER 4 SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY
Section 406 Motor Vehicle related occupancies.
406.8 - Repair Garages (no motor fuel dispensing)
Mixed use allowed
Must be mechanically vented.
406.8.5 - Requires a flammable gas detection approved system.
406.8.6 - Automatic Sprinkler System REQUIRED (provided)

CHAPTER 5 GENERAL BUILDING HEIGHTS AND AREAS
Table 503 - Allowable Height and Building Areas
Occupancy Group: F1
Type of Construction: TYPE II-B
Allowable Height and Area:
Height: 2 stories
Area: 15,500 s.f./floor

Section 506 - Area Modifications
Frontage Increase:
If $\leq [1-0.25] \frac{30}{75}$
Sprinkler Increase:
Is = 3

TOTAL ALLOWABLE BUILDING AREA
Allowable Area = 15,500 s.f.
Frontage Increase = 11,625 s.f.
Sprinkler Increase = 46,500 s.f.
ALLOWABLE AREA = 73,625 s.f.
(Building is unlimited area per single story and sprinkler system provided)

Actual Building Area: 29,940 s.f.

Section 508 - Mixed Uses
508.4 - No separation required between F1 & B occupancy.

Section 509 - Incidental Uses
Furnace room where any equip. over 400,000 btu per hour.
1 hr. Fire Barrier or Sprinkled
Under (N.E.C. article 450) areas with dry-type transformers over 112 kVA .
1 hr. Fire Barrier

CHAPTER 6 TYPE OF CONSTRUCTION
Section 602 - Type of Construction: TYPE II B
Table 601 - Fire-Resistance Rating Requirements:
Bearing Walls - Exterior: 0 hrs
Bearing Walls - Interior: 0 hrs
Non-Bearing Exterior Walls: 0 hrs
Structural Frame: 0 hrs
Permanent Partitions: 0 hrs
Floors and Floor-Ceilings: 0 hrs
Roof and Roof-Ceilings: 0 hrs
Exterior Doors and Windows: 0 hrs
Corridor Ratings: 0 hrs

Table 602 - Fire Resistance Rating Requirements for Exterior Walls Based on Fire Separation Distance - X \geq 30 = 0 hrs.

CHAPTER 7 FIRE-RESISTANCE RATED CONSTRUCTION
Section 708 - Fire Partitions:
708.3 - Fire Resistance Rating Fire - 1 hr.

CHAPTER 9 FIRE PROTECTION SYSTEMS
Section 903 Automatic Sprinkler Systems
903.2.4 Group F1
Automatic sprinkler system is REQUIRED for fire area exceeding 12,000 s.f. and combined area of all Group F-1 fire areas exceed 24,000 s.f. (Automatic Sprinkler System PROVIDED)

Section 907 - Fire Alarm & Detection System
907.2.4 - Group F - Not Required.
Building does not exceed one story and has less than 500 occupants.

CHAPTER 10 MEANS OF EGRESS
Section 1004 - Occupant Load
Refer to Code Footprint Plan
Occupant Load: 246 occupants

Section 1005 - Means of Egress Sizing
Stairways - 0.37/occup. (not applicable)
Other - 0.27/occup. & 0.15/occup. with sprinkler system

Section 1015 - Exit and Exit Access Doorways
Table 1051.1 Spaces with one exit or exit access doorway:
B Occupancies under 49 occupants only one exit required.

Section 1018 - Corridors
Table 1018.1 - Corridor Fire Resistance Rating:
B Occupancy - Greater than 30 occupant served by Corridor = 1 hr.
Minimum - Not Required if Building is Sprinkled.

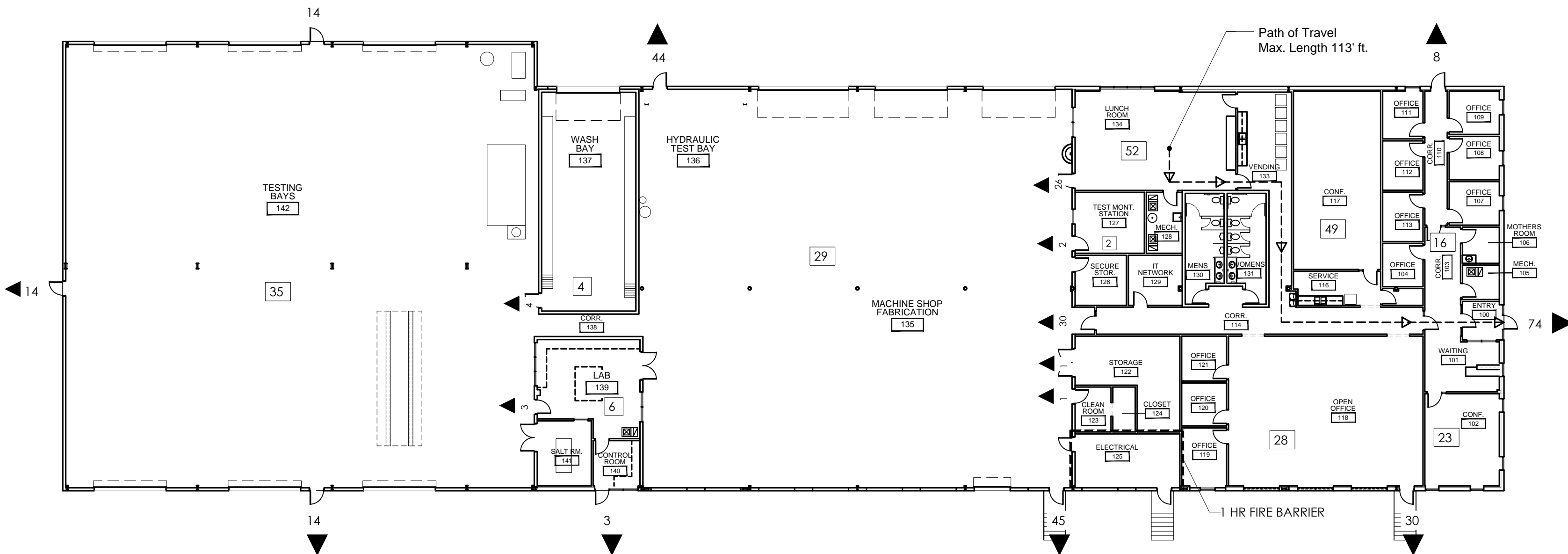
Number of Exits Required:
2 Exits
Exits Provided:
9 Exits

Table 1018.2 - Min. Corridor Width = 44 inches.

CHAPTER 29 PLUMBING
B - Toilets Lavatories
1 / 25 first 50 1 / 40 first 90
1 / 50 after 1 / 80 after
=6 =4

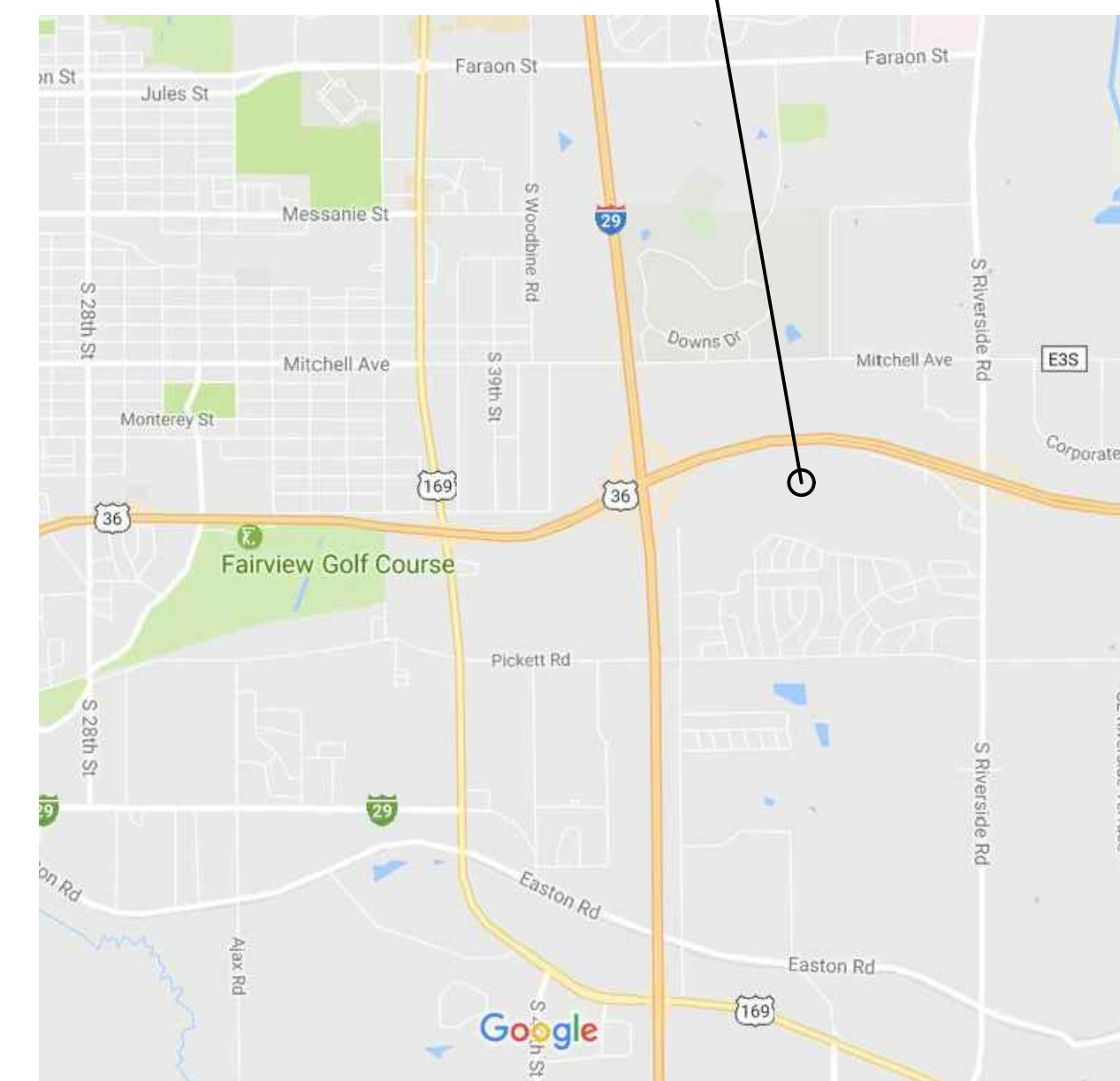
Toilets
Men Required: 3 Toilets & 2 Lavatories
Men Provided: 2 Toilets, 2 Urinals & 2 Lavatories
Women Required: 3 Toilets & 2 Lavatories
Women Provided: 4 Toilets & 2 Lavatories

Drinking Fountain - 1 / 100 = { 2 Provided }
Service Sink = 1 required (1 Provided)



CODE & LIFE SAFETY PLAN

PROJECT LOCATION
4906 East 36 Highway
ST. JOSEPH, MO.



LOCATION MAP

Material Legend

- METAL STUD WALL CONSTRUCTION
- CMU (CONCRETE MASONRY UNIT)
- CONCRETE
- GYPSON BOARD
- FIRE EXTINGUISHER CABINET
- FLOOR DRAIN
- ELECTRIC DRINKING FOUNTAIN

Symbols Legend

- ROOM NAME ROOM NUMBER
- DOOR NUMBER
- WINDOW TYPE REFER: SHEET A601
- KEYNOTE
- BUILDING SECTION
- SHEET NUMBER
- DETAIL NUMBER
- ELEVATION REFERENCE
- SECTION REFERENCE
- DETAIL REFERENCE
- REVISION CLOUD

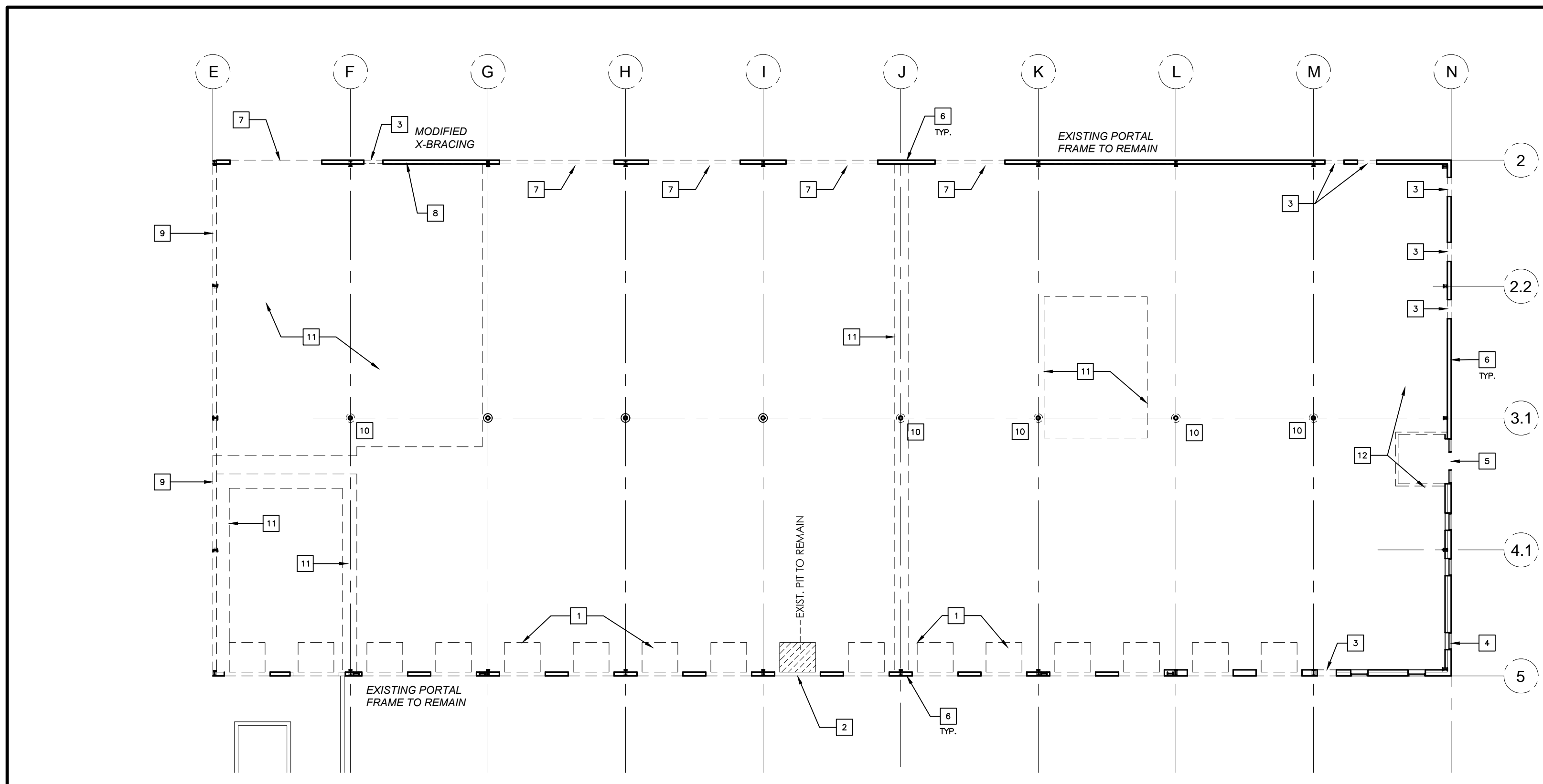
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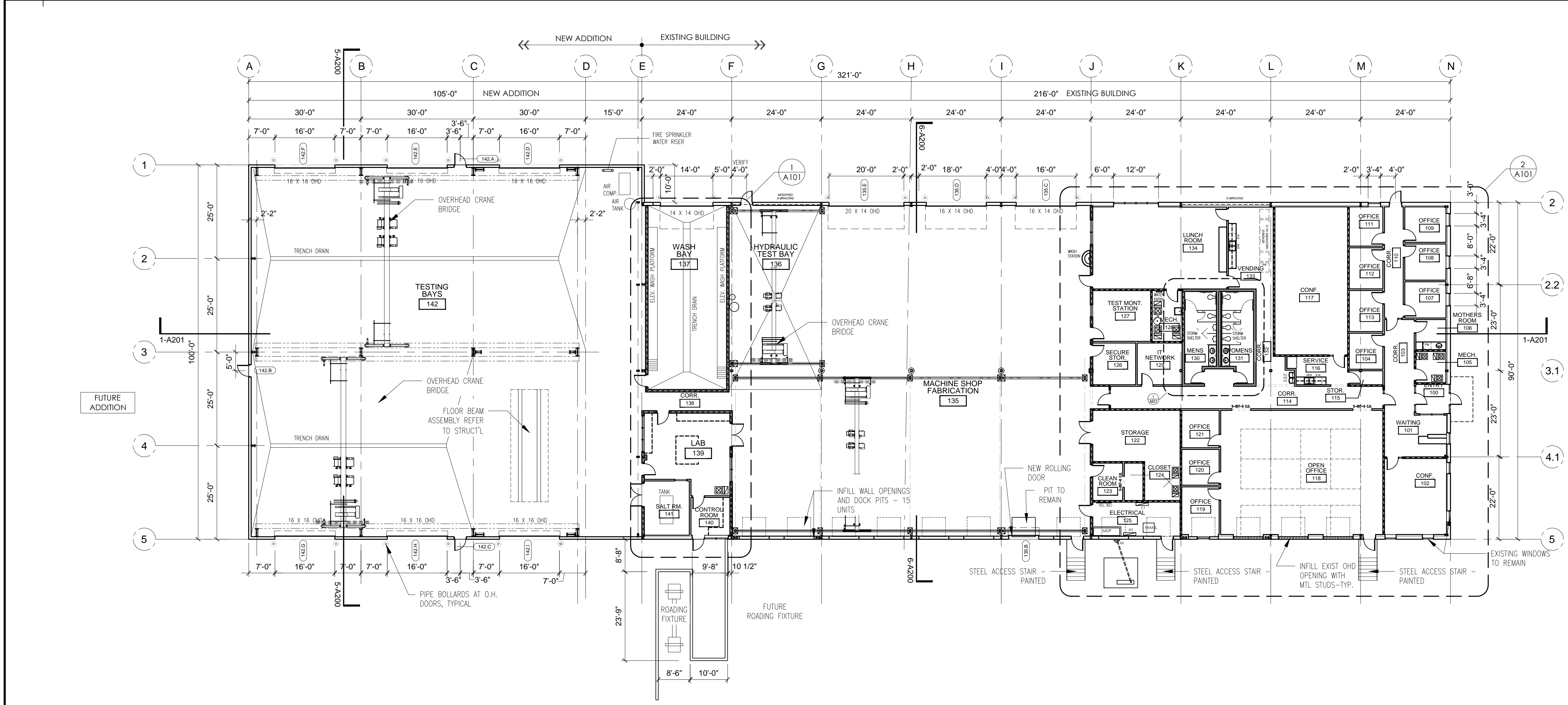
Cover Sheet

A001

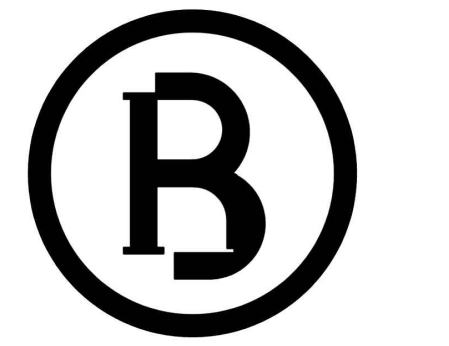


- DEMO KEYNOTES**
1. REMOVE EXISTING DOCK LEVELERS AND OVERHEAD DOORS - 15 UNITS.
 2. REMOVE EXIST. OVERHEAD DOOR PIT & LEVELER TO REMAIN.
 3. CUT OPENING FOR NEW DOOR/WINDOW OPENING, RE-FRAME TO SUPPORT WALL GIRTS.
 4. EXISTING WINDOWS TO REMAIN.
 5. EXISTING ENTRY DOOR AND STOREFRONT TO REMAIN.
 6. REMOVE EXISTING METAL SIDING.
 7. CUT OPENING FOR NEW O.H. DOOR OPENING, RE-FRAME TO SUPPORT WALL GIRTS.
 8. EXISTING 'X' BRACING TO BE REMOVED AND MODIFIED FOR NEW DOOR OPENING.
 9. REMOVE END WALL SIDING AND GIRTS.
 10. REMOVE EXISTING CONC. PROTECTIVE COVER AT BT. OF COLUMN.
 11. REMOVE EXISTING FLOOR SLAB FOR NEW FOOTINGS, SLOPED FLOOR SLAB AND PLUMBING - VERIFY EXTENT OF SLAB DEMOLITION WITH ALL CONTRACTORS.
 12. INTERIOR WALLS TO BE REMOVED-VERIFY EXTENT OF EXISTING WALLS.
- DEMO GENERAL NOTES:**
1. CONTRACTORS SHALL FIELD VERIFY EXTENT, TYPE AND LOCATION OF SELECTIVE DEMOLITION WORK, PROVIDE PATCH AND REPAIR AS REQUIRED TO MATCH EXISTING CONSTRUCTION.
 2. ALL SUB-CONTRACTORS TO COORDINATE LOCATIONS AND EXTENTS OF ALL CONCRETE SLAB REMOVAL WITH G.C.
 3. ALL SUB-CONTRACTORS SHALL COORDINATE WITH G.C. EXTENT AND SCOPE OF ALL DEMOLITION WORK TO BE COMPLETED.
 4. FIELD VERIFY THE EXTENT OF WORK REQUIRED FOR FLOOR PREPARATION FOR THE SELECTED FLOOR FINISHES. COORDINATE THE SCOPE OF WORK WITH G.C.
 5. REMOVE ALL ELECTRICAL, PLUMBING AND/OR MECHANICAL CONSTRUCTION AS REQUIRED FOR NEW CONSTRUCTION AND AS DIRECTED BY G.C. PATCH AND REPAIR WALL OR CEILING AS REQ'D FOR FINISH AS SCHEDULED.
 6. VERIFY EXTENT OF FLOOR REMOVAL WITH MECHANICAL, ELECTRICAL AND PLUMBING - G.C. TO COORDINATE AREAS OF SLAB REMOVAL FOR CMU / CRANE FOOTINGS AND NEW SLOPED SLAB AREAS.

1 Demolition Plan
Scale: 1/16" = 1'-0"



1 Overall Floor Plan
Scale: 1/16" = 1'-0"



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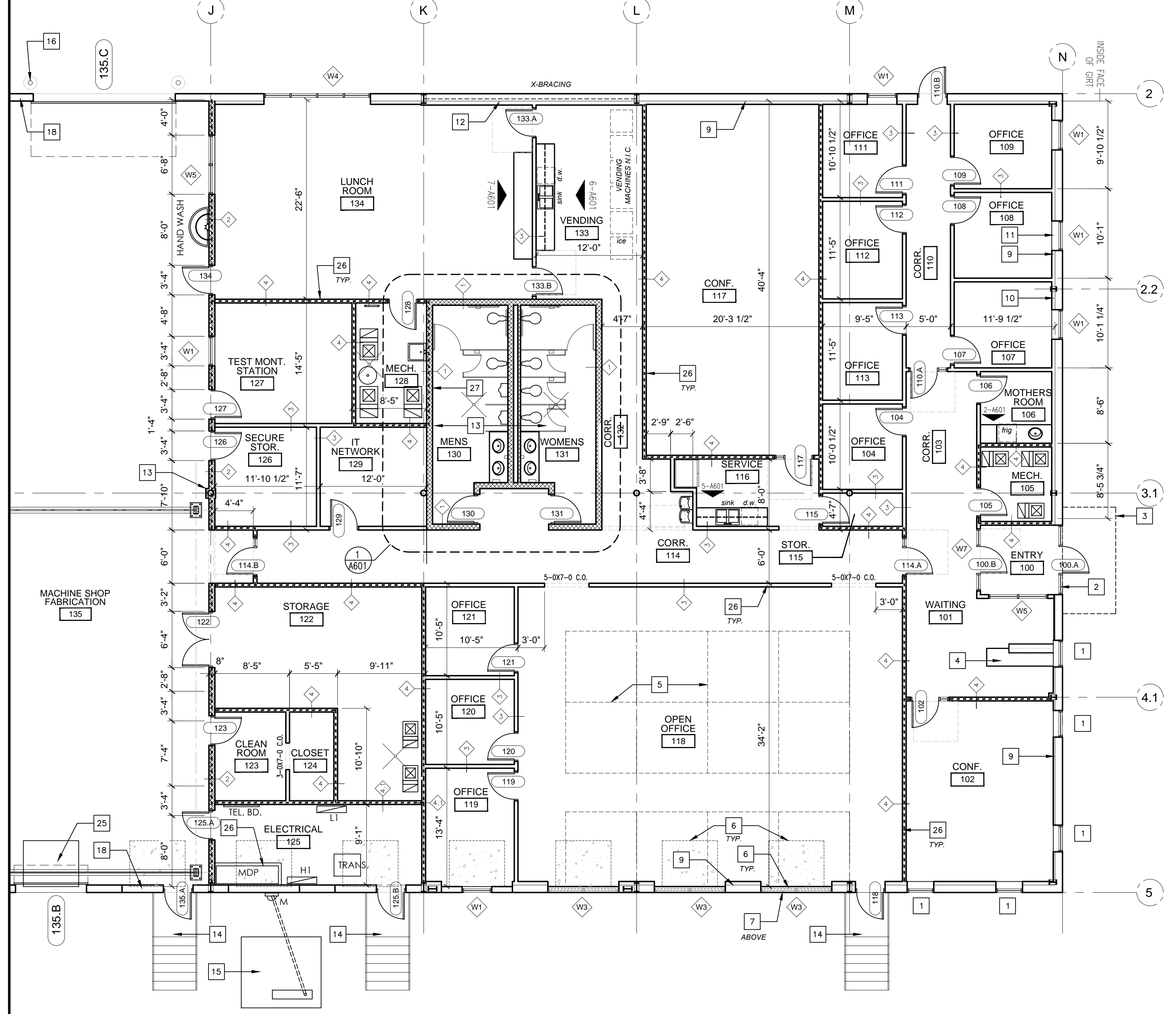
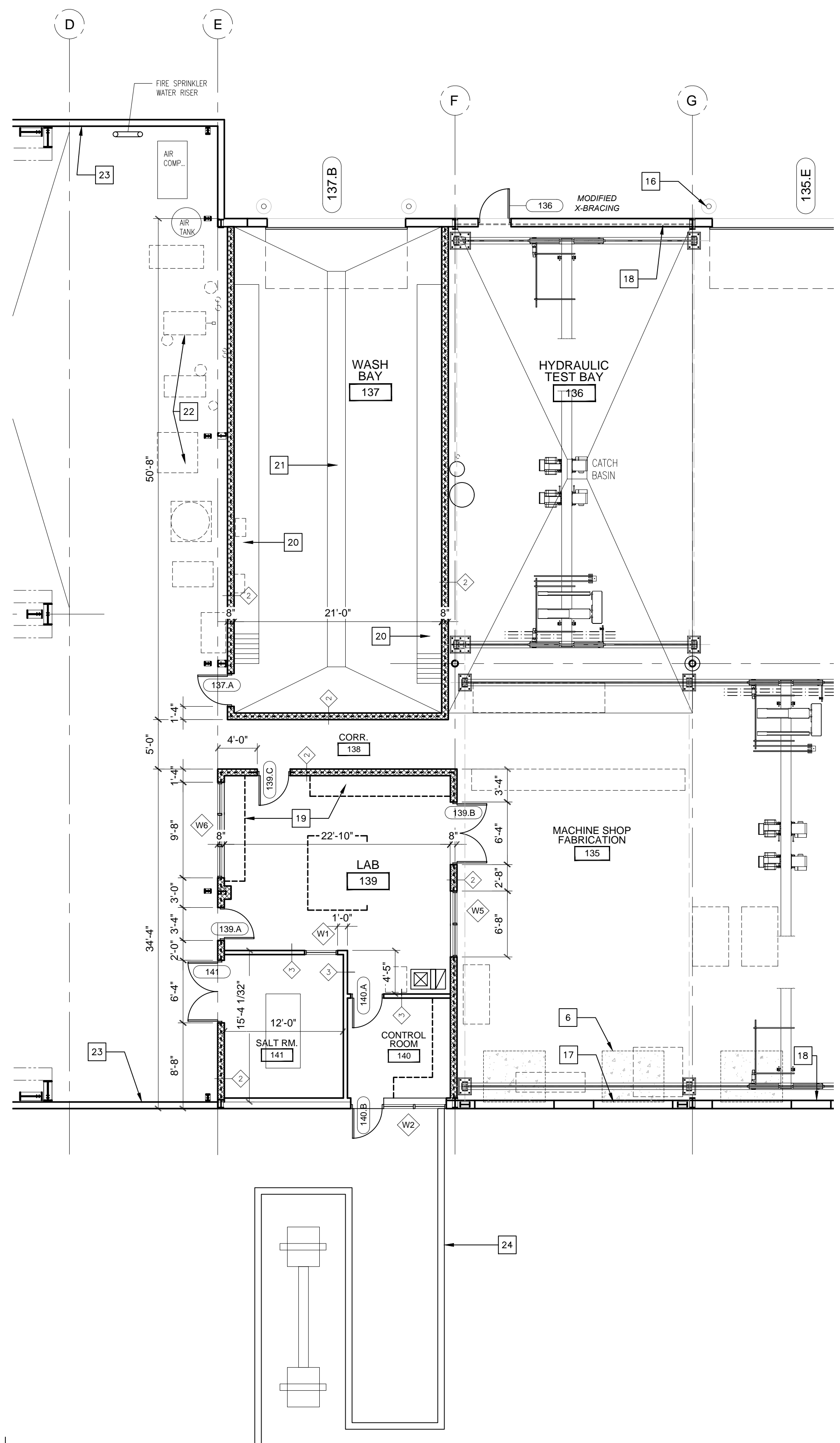
Demo & Floor Plans

A100

PLAN KEYNOTES

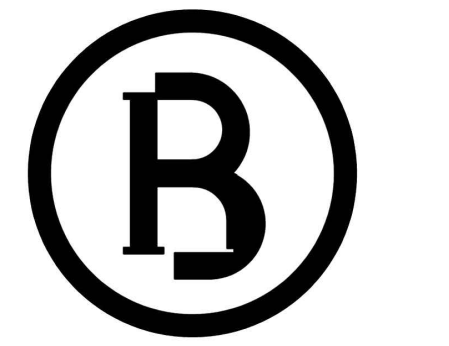
- EXISTING STOREFRONT WINDOWS TO REMAIN.
- EXISTING STOREFRONT ENTRY DOOR & WINDOWS TO REMAIN.
- OVERHEAD CANOPY TO REMAIN.
- RECEPTION DESK - N.I.C.
- SYSTEMS FURNITURE - PROVIDE CONNECTIONS AND ROUGH INS AS REQUIRED FOR FURNITURE INSTALLATION - VERIFY WITH FURNITURE SUPPLIER.
- EXISTING PITS TO BE FILLED WITH CONCRETE.
- HIGH STOREFRONT WINDOW ABOVE - TYPE 'W3'.
- INFILL O.H. DOOR OPENINGS WITH 6" MTL. STUDS, INSULATION AND 5/8" GYP. BOARD INTERIOR TO ABOVE CEILINGS.
- EXISTING WALL & GIRTS - FURR-OUT WALL WITH 3 5/8" MTL. STUDS & 5/8" GYP. BD. TO ABOVE CEILINGS.
- EXISTING COLUMNS - FURR-OUT AND GYP. BD. IN FINISHED AREAS - VERIFY.
- NEW ALUM. STOREFRONT WINDOWS TO MATCH EXISTING REFER TO WINDOW TYPES.
- FRAME OUT WALL AS REQUIRED FOR EXISTING 'X' BRACING.
- MENS & WOMENS TOILET AREA TO BE CONSTRUCTED AS STORM SHELTER AREA - REINFORCED CMU WALLS WITH CONCRETE DECK ABOVE - REFER TO STRUCTURAL.
- STEEL ACCESS STAIR - PAINTED.
- REINFORCED CONCRETE PAD FOR ELECTRICAL TRANSFORMER PER ELECTRICAL AND UTILITY REQUIREMENTS.
- PIPE BOLLARD, PAINTED. TYPICAL AT OVERHEAD DOORS. DETAIL PER STRUCTURAL.
- INFILL EXISTING OPENING WITH 6" MTL. STUDS, INSULATION AND INTERIOR MTL. LINER PANEL.
- METAL LINER PANEL AT INTERIOR OF EXISTING WALLS TYPICAL IN SHOP/MACHINE AREAS.
- CASEWORK & FURNITURE BY OWNER.
- RAISED WASH PLATFORM TO BE DESIGNED AND COORDINATED WITH OWNER.
- FORMED TRENCH DRAIN AND COVER - PER STRUCTURAL.
- EQUIPMENT REFER TO A104. VERIFY AND COORDINATE WITH OWNER.
- METAL LINER PANEL AT INTERIOR TO 16-0.
- RETAINING WALL REFER TO STRUCTURAL & CIVIL.
- RAISED HOUSE PAD AT ELECTRICAL EQUIPMENT - VERIFY WITH ELECTRICAL CONTRACTOR.
- INTERIOR WALLS - REFER TO WALL TYPE LEGEND.
- EXTEND MTL. STUD WALL UP ABOVE CMU WALL TO DECK WITH GYP. BD. AT MECH. ROOM SIDE.

Wall Type Legend	
	8" CMU - 10-0 HEIGHT - REINF. PER STRUCTURAL
	8" CMU - FULL HEIGHT - REINF. PER STRUCTURAL
	GYP. BOARD PARTITIONS - 10-0 HEIGHT 3 5/8" MTL. STUDS AT 16" O.C. WITH 5/8" GYP. BD. EACH SIDE - SOUND ATTENUATION BATT
	GYP. BOARD PARTITIONS - FULL HEIGHT 3 5/8" MTL. STUDS AT 16" O.C. WITH 5/8" GYP. BD. EACH SIDE. SOUND ATTENUATION BATT - ABOVE CEILING PROVIDE GYP. BD. ON ONE SIDE ONLY.
	UL RATED 1 HR WALL - GYP. BD ON BOTH SIDES OF WALL - SEALED. U.L. DESIGN #U419.



1 Enlarged Floor Plan - Lab Area
Scale: 1/8" = 1'-0"

2 Enlarged Floor Plan - Office Area
Scale: 1/8" = 1'-0"



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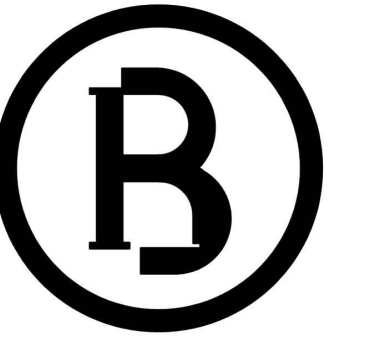
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Enlarged Floor Plans

A101



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Ceiling Legend	
9-0	CEILING HEIGHT
	24 X 24 ACOUSTICAL CEILING TILE & SUSPENSION GRID ARMSTRONG SECOND LOOK (24 X 24 PATTERN)
	2 X 4 LED TROFFER
	2 X 2 LED TROFFER
	LOW-PROFILE INDUSTRIAL - LED
	4' LED STANDARD STRIP LIGHT
	EMERGENCY LIGHTS - LED
	EMERGENCY/EXIT - LED
	EXIT LIGHT - LED
	WALL MOUNTED LIGHT FIXTURE AS SELECTED BY TENANT - DIMMABLE -
	SUSPENDED UNIT HEATER - REFER TO MECH.
	CEILING SUPPLY DIFFUSER
	EF EXHAUST FAN - VENTED TO EXTERIOR

- CEILING KEYNOTES**
- EXISTING CANOPY TO REMAIN.
 - 2x2 SUSPENDED ACOUSTICAL CEILING SYSTEM. ACT-1 - TEGULAR EDGE TILE.
 - CMU LINTEL HEAD AT 9-4.
 - PAINTED PURLINS AND MAIN FRAME STEEL AND WHITE POLY FACED INSULATION SYSTEM.
 - METAL LINER PANEL CEILING.
 - 2x2 SUSPENDED ACOUSTICAL CEILING SYSTEM. ACT-2 - SQUARE EDGE TILE.
 - CEILING HUNG MECH. HEATER UNITS PER MECHANICAL.

NOTE: ALL SUSPENDED CEILING AT 9-0 U.N.O.



1 Ceiling Plan - South Area
Scale: 1/8" = 1'-0"

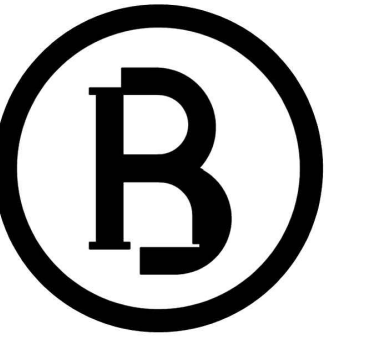
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Ceiling Plan

A102



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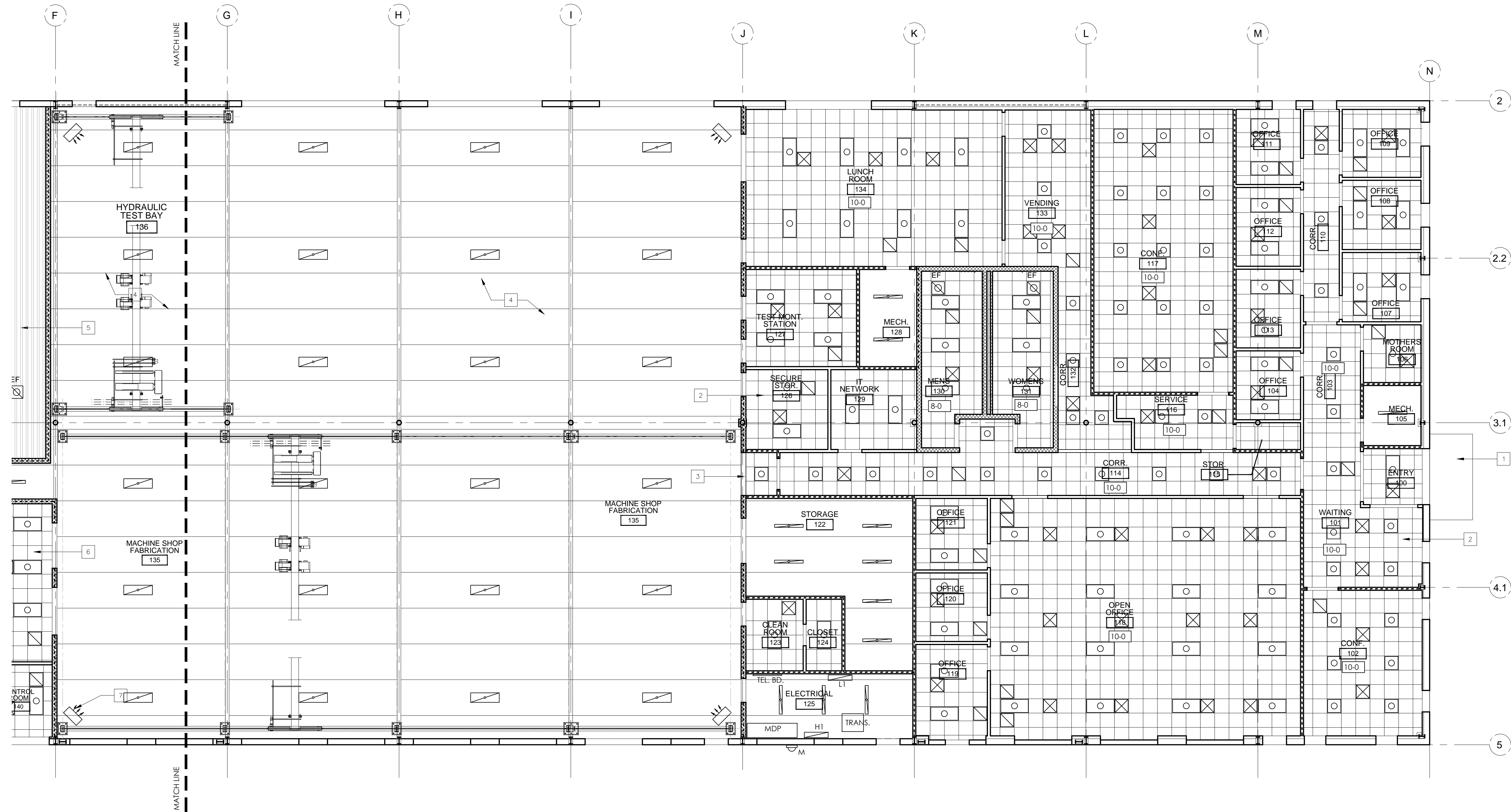
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Ceiling Plan

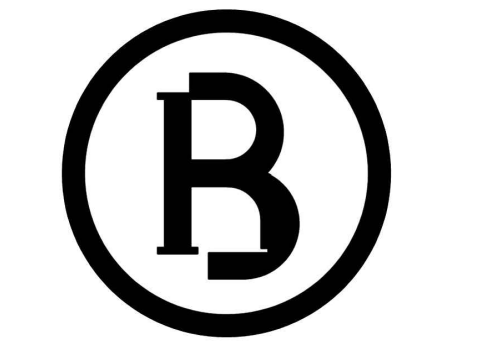
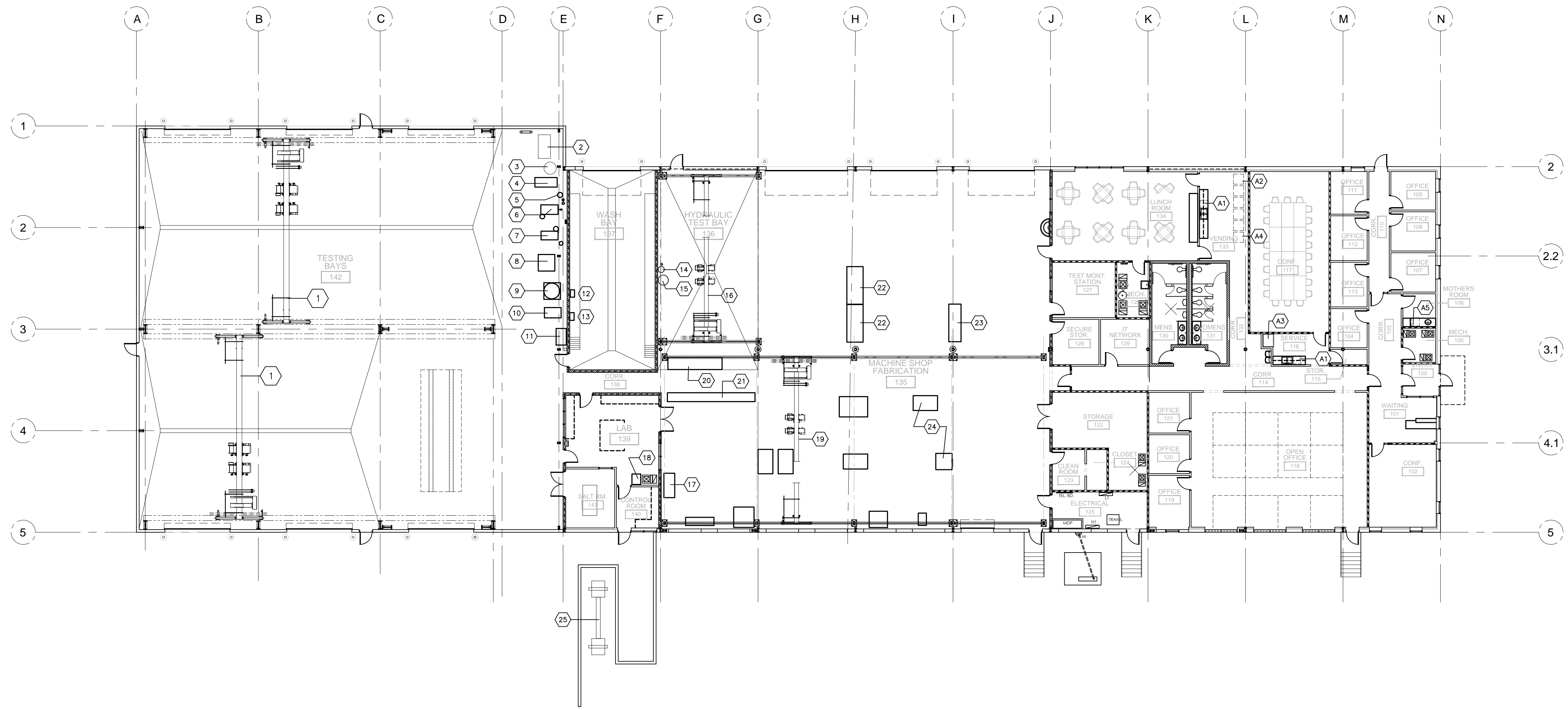
A103



1 Ceiling Plan - North Area
 Scale: 1/8" = 1'-0"

EQUIPMENT SCHEDULE		
TAG	DESCRIPTION	NOTES
1	CRANE RAIL SYSTEM	CRANE 20 TON BRIDGE WITH (2) 10 TON HOISTS
2	AIR COMPRESSOR	
3	AIR TANK	
4	BULK OIL STORAGE - 500 GALLON	
5	TEST BAY SUMP	120V
6	TEST BAY SERIES ONE	
7	WASH BAY SERIES 1	
8	EQUIP. SKID - SERIES 2	220 V
9	500 GAL. STORAGE - SERIES 3	
10	WASHER	460 V
11	PARTS WASHER 40X30	220 V
12	HOSE BIB FRESH WATER INLET	
13	WASHER CONTROLS	
14	SUMP PIT	
15	OIL BARREL	

16	CRANE RAIL SYSTEM - HYDRAULIC TEST	4 TON BRIDGE - 41'-10" SPAN
17	THERMAL CHAMBER 72x32	
18	OVEN 26x31	
19	CRANE RAIL SYSTEM	4 TON BRIDGE - 41'-10" SPAN
20	WHITE SHELVES	13'-4" X 3'-0"
21	CABINETS	21'-7" X 2'-2"
22	PRE/POST TEST SHELVES	9'-3" X 4'-0"
23	PRE/POST TEST SHELVES	9'-3" X 3'-0"
24	WORK TABLES	VARIOUS SIZES
25	ROADING FIXTURE	
A1	UNDERCOUNTER DISHWASHER	24x24x34 (Vending #133 max. hgt 32")
A2	VENDING MACHINES	VARIOUS SIZES & TYPES - VERIFY CONNECTIONS WITH OWNER.
A3	REFRIGERATOR	SELECTED BY OWNER
A4	ICE MACHINE	SELECTED BY OWNER
A5	UNDER COUNTER REFRIGERATOR	SELECTED BY OWNER



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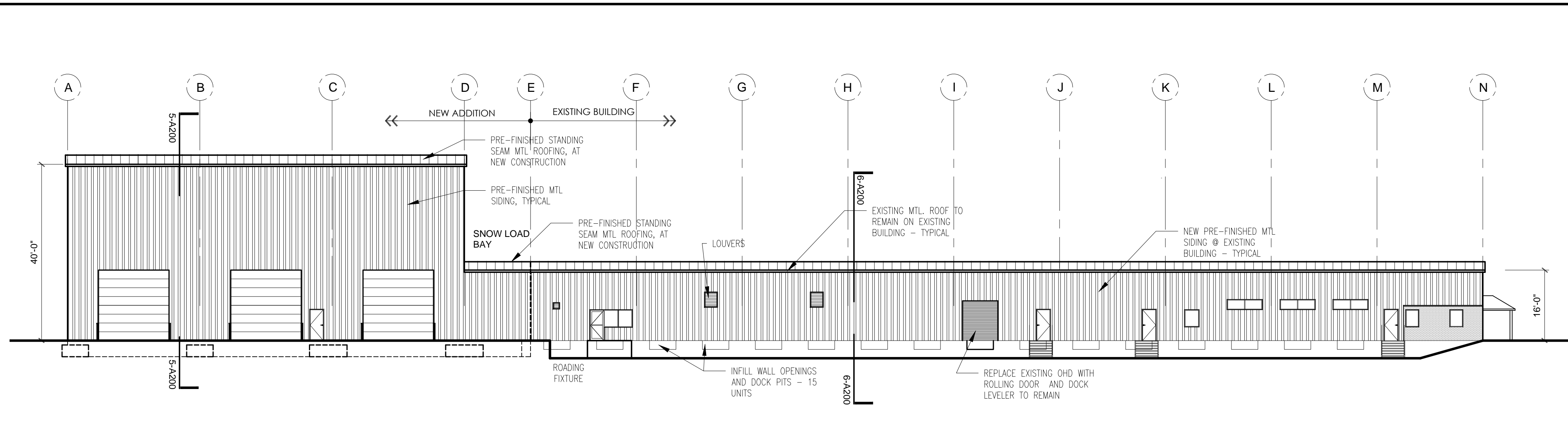
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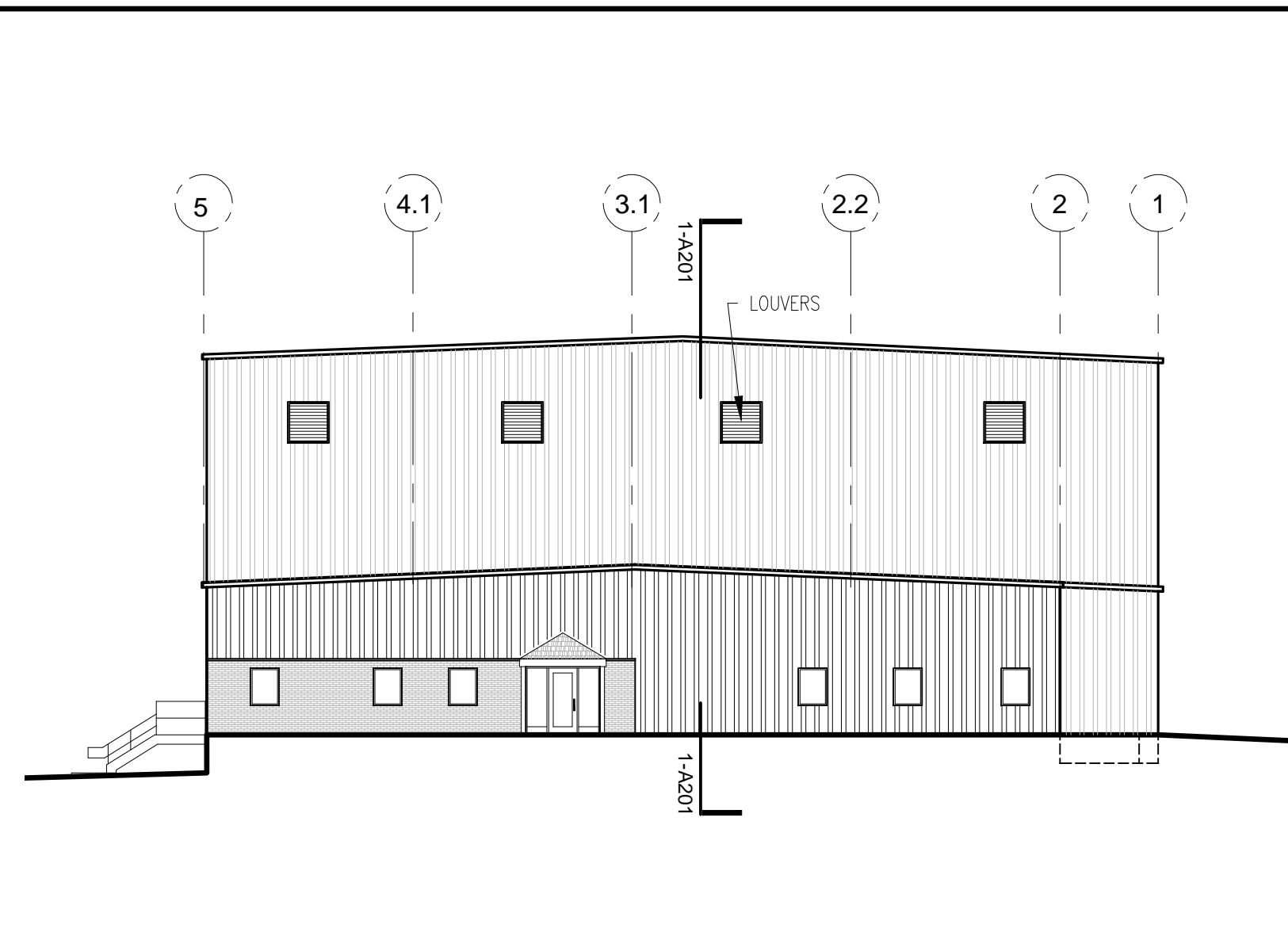
FFE Plans

A104

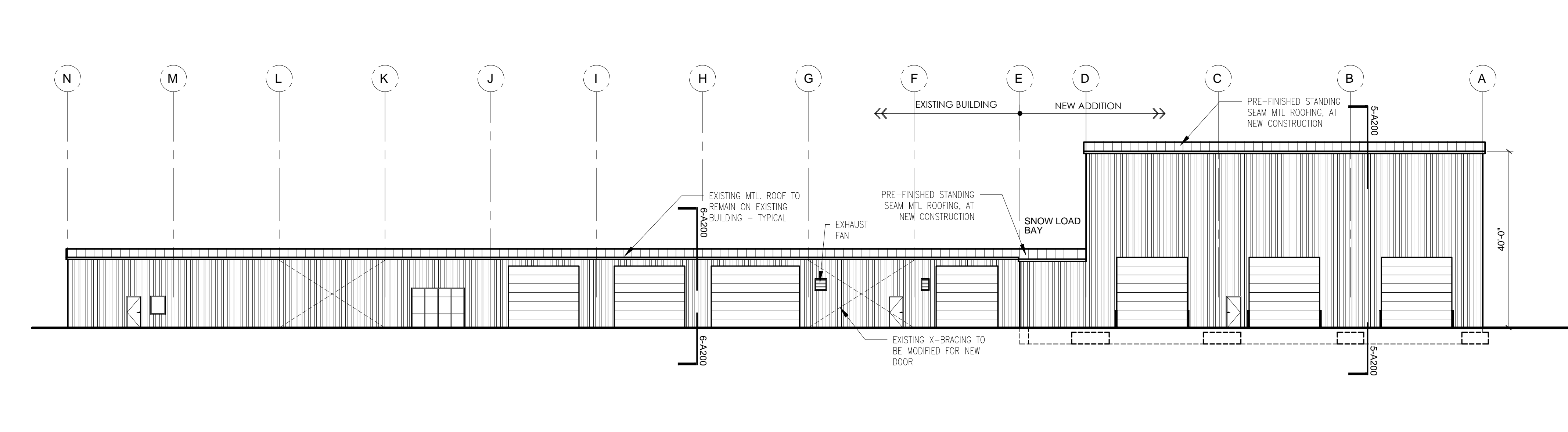
1 Equipment/Furniture Plan
Scale: 1/16" = 1'-0"



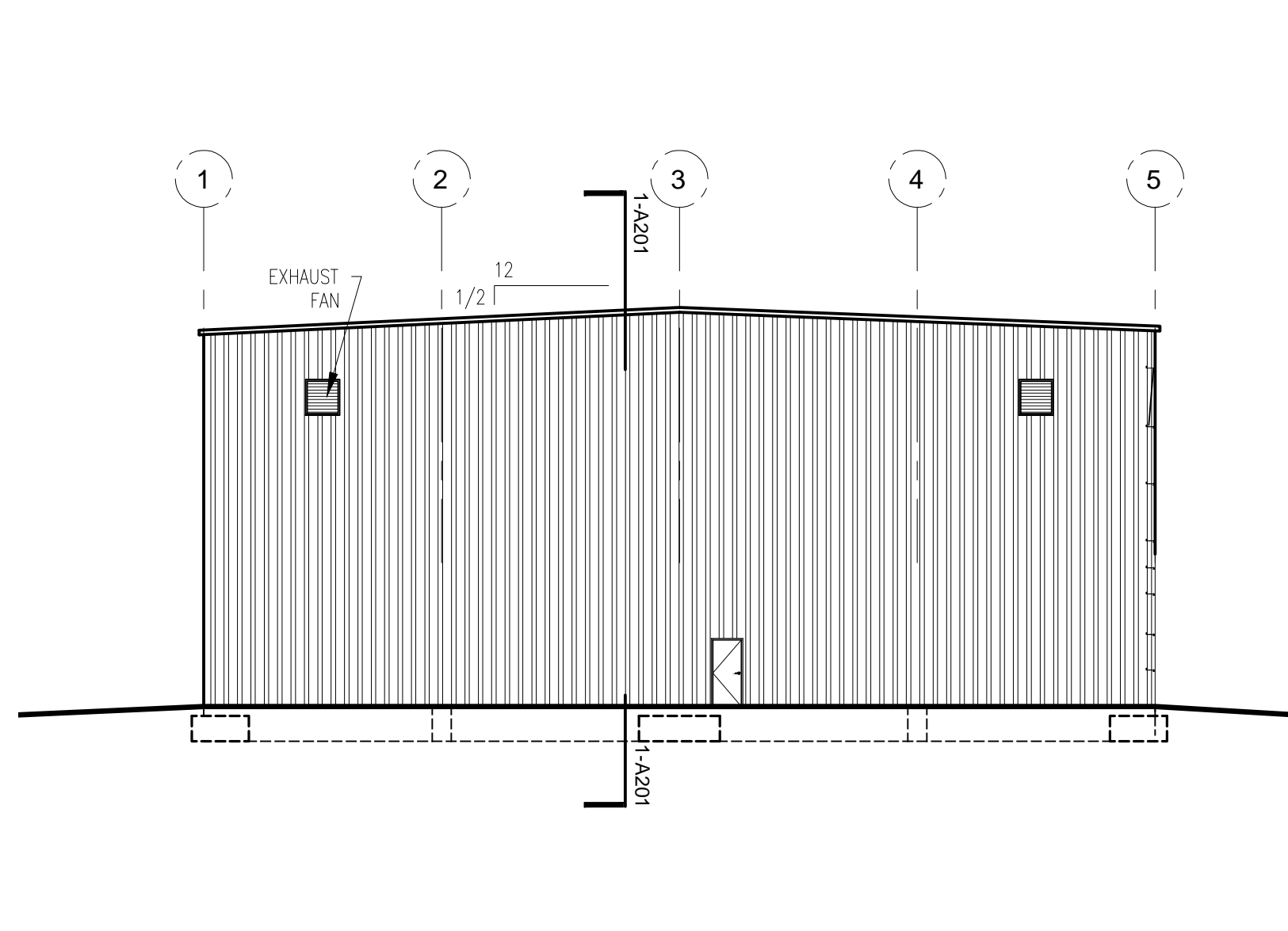
1 East Elevation
Scale: 1/16" = 1'-0"



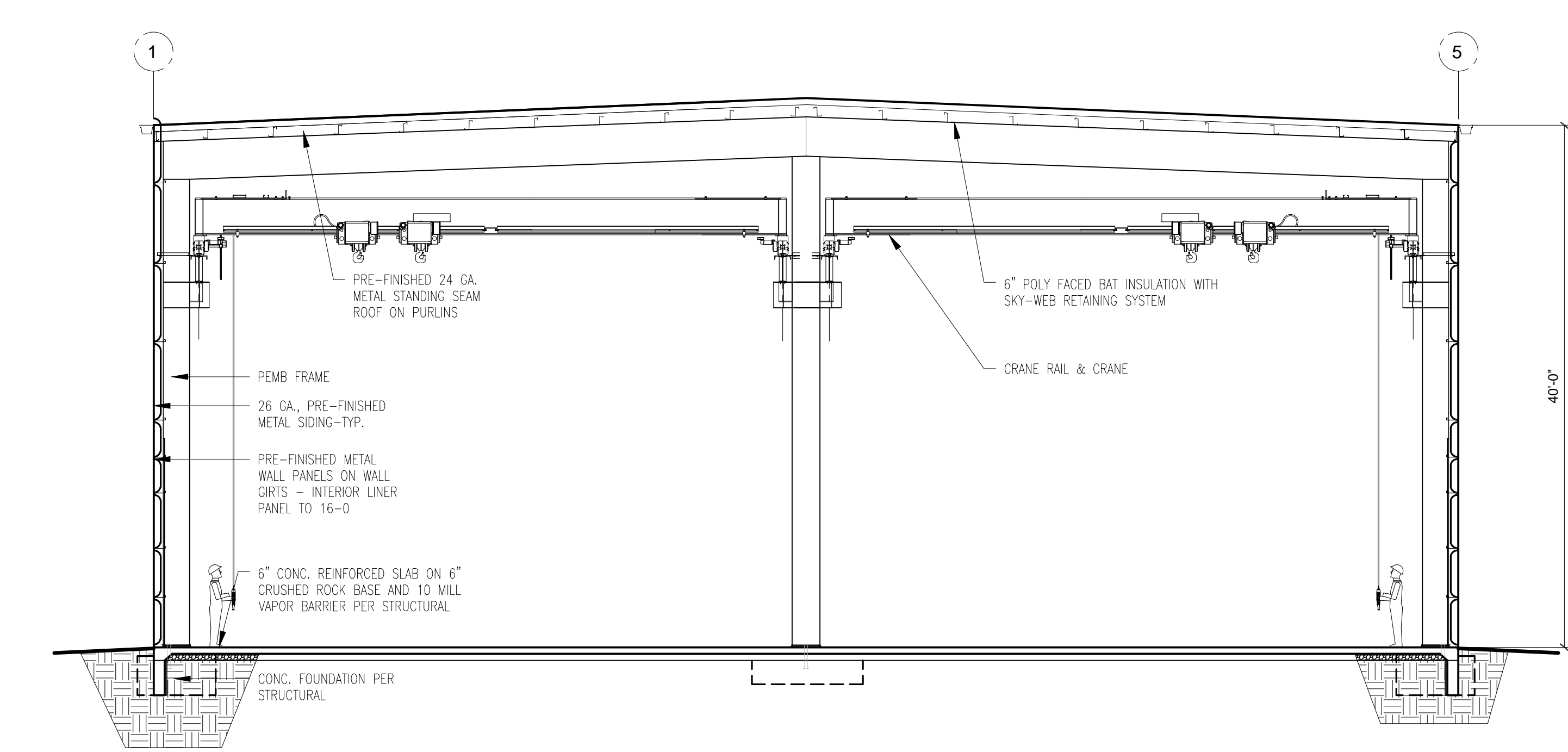
2 North Elevation
Scale: 1/16" = 1'-0"



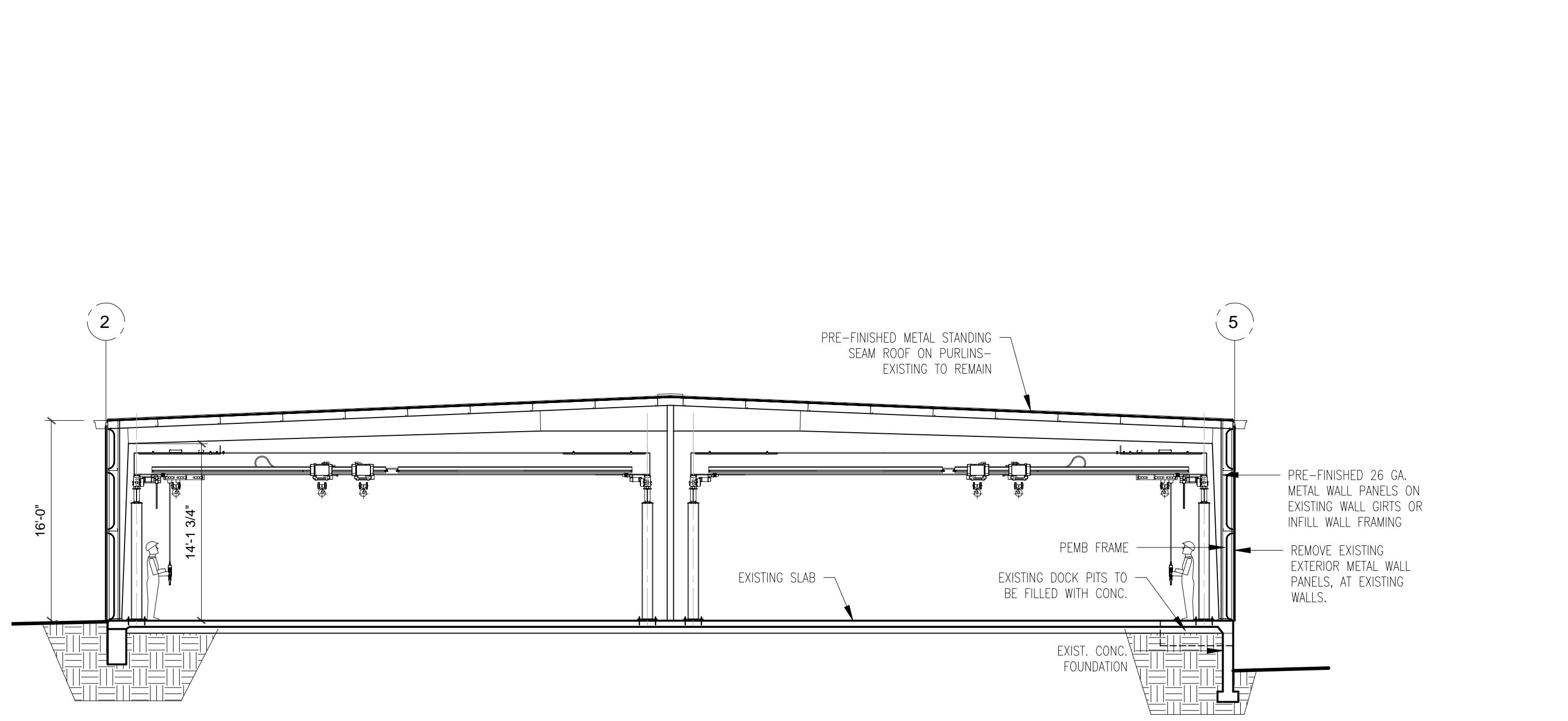
3 West Elevation
Scale: 1/16" = 1'-0"



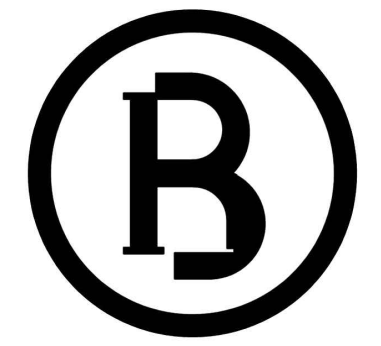
4 South Elevation
Scale: 1/16" = 1'-0"



5 Building Section
Scale: 1/8" = 1'-0"



6 Building Section
Scale: 1/8" = 1'-0"



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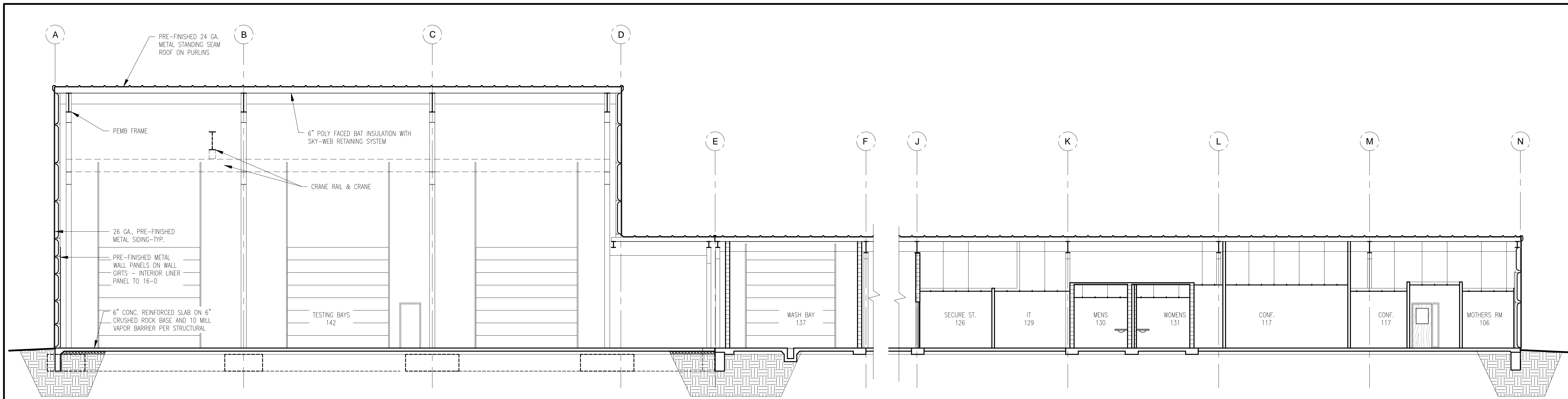
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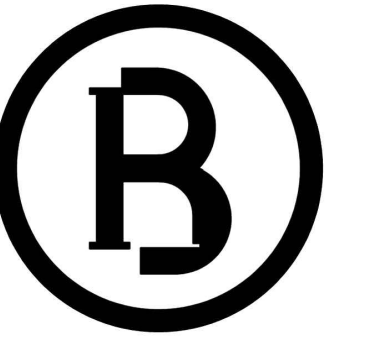
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Exterior
Elevations
Building
Sections

A200



1 Building Section
 Scale: 1/8" = 1'-0"



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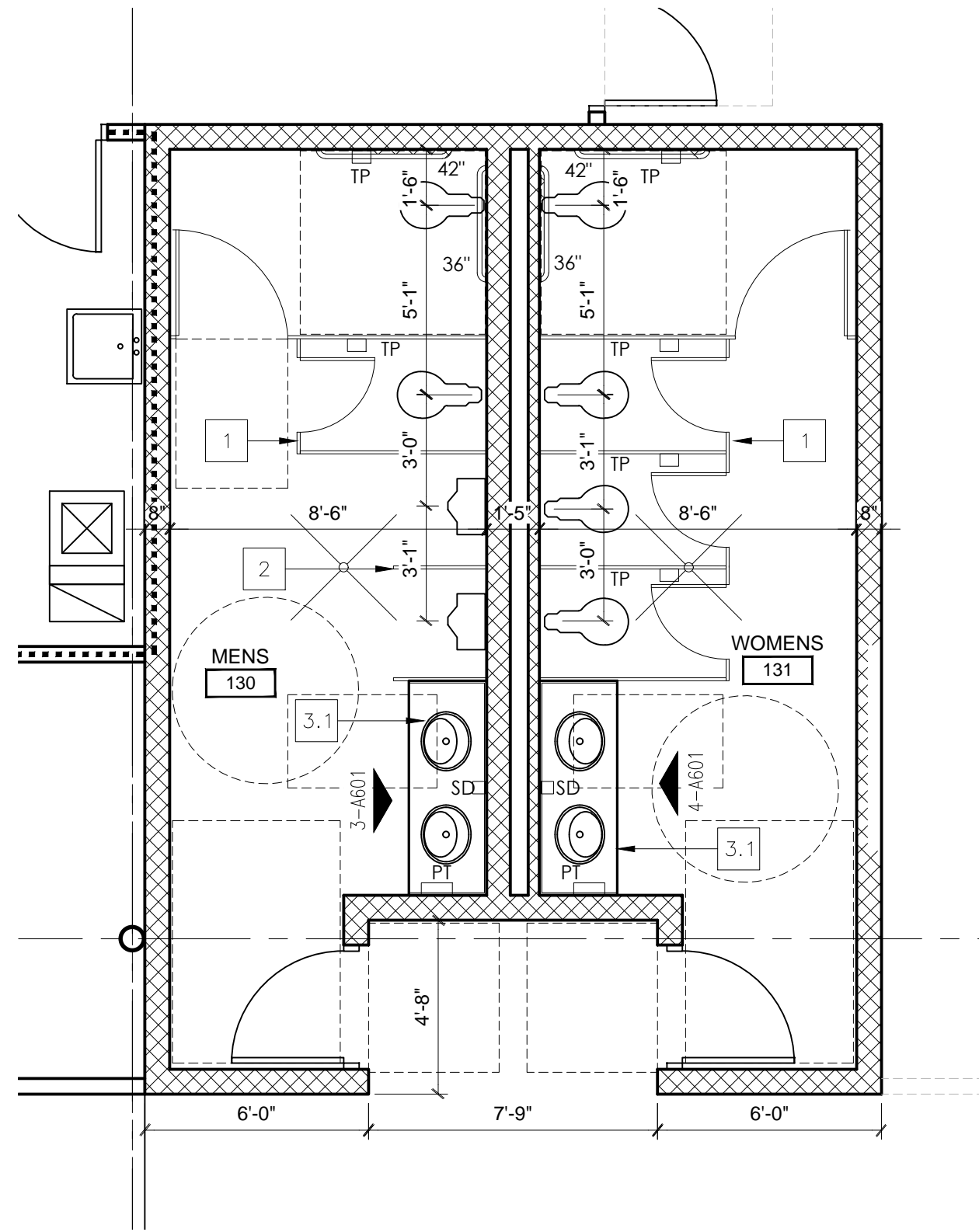
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Building
 Sections

A201

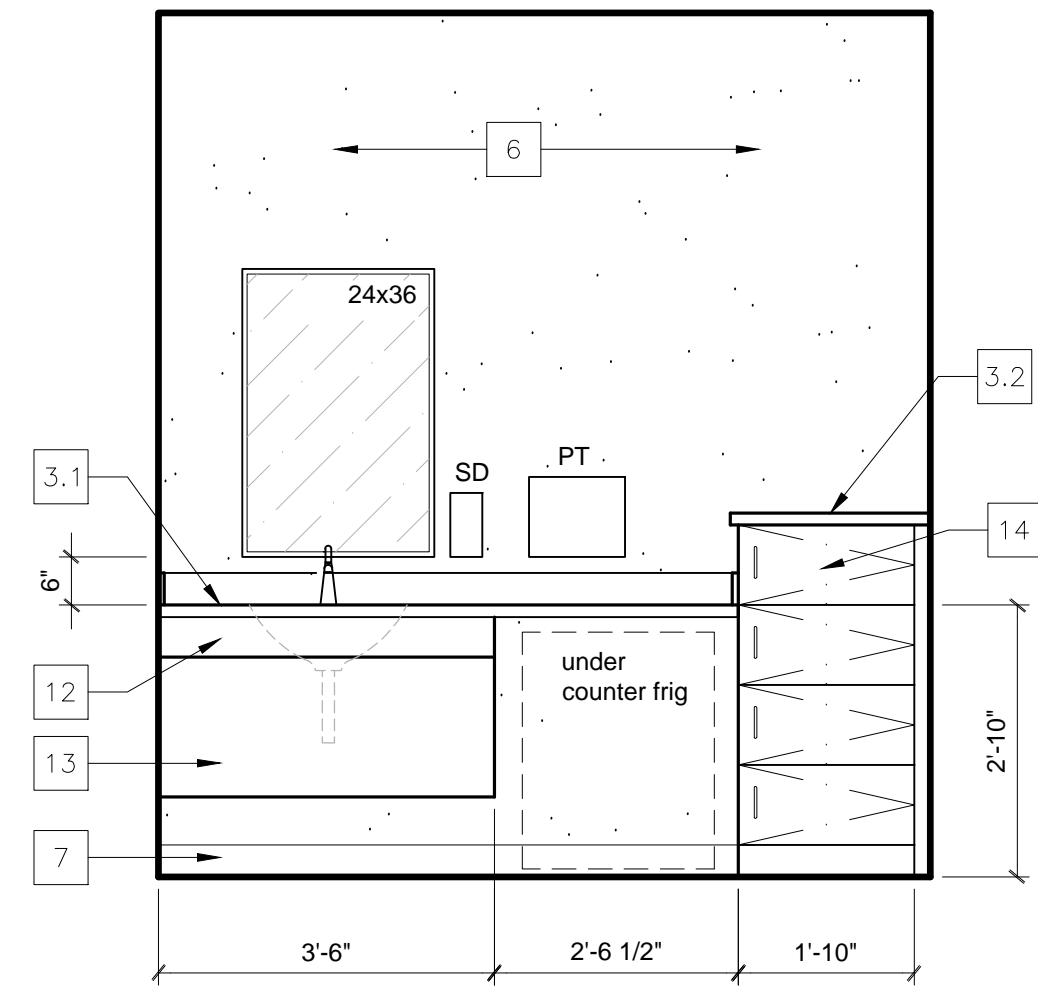
INTERIOR ELEVATION KEYNOTES

1. FLOOR-MOUNTED OVERHEAD-BRACED PLASTIC TOILET PARTITIONS.
2. WALL HUNG PLASTIC URINAL PARTITIONS.
- 3.
- 3.1. GRANITE COUNTER WITH BULLNOSE EDGE AND 4" BACKPLASH, WITH CUTOUTS FOR UNDERMOUNT SINKS.
- 3.2. GRANITE COUNTER.
4. SUPPORT PANEL FOR COUNTER.
5. MIRROR, SIZE AS SHOWN.
6. WALL PER PLAN AND FINISH SCHEDULE.
7. BASE PER FINISH SCHEDULE.
8. 1-1/2" O.D. GRAB BARS TO MEET CODE.
9. FRAMELESS FULL-OVERLAY CABINETS WITH PLASTIC LAMINATE FINISH, PROVIDE ADJUSTABLE SHELVES AS SHOWN.
10. DRAWERS WITH PLASTIC LAMINATE FINISH.
11. OPEN SHELVES WITH PLASTIC LAMINATE FINISH ON ALL EXPOSED SURFACES.
12. 5" PLASTIC LAMINATE APRON.
13. SLOPED REMOVABLE PANEL - ADA ACCESSIBLE CLEARANCES.
14. PLASTIC LAMINATE 4-DOOR UNIT.
15. PIPE WRAP PROTECTORS UNDER SINKS.



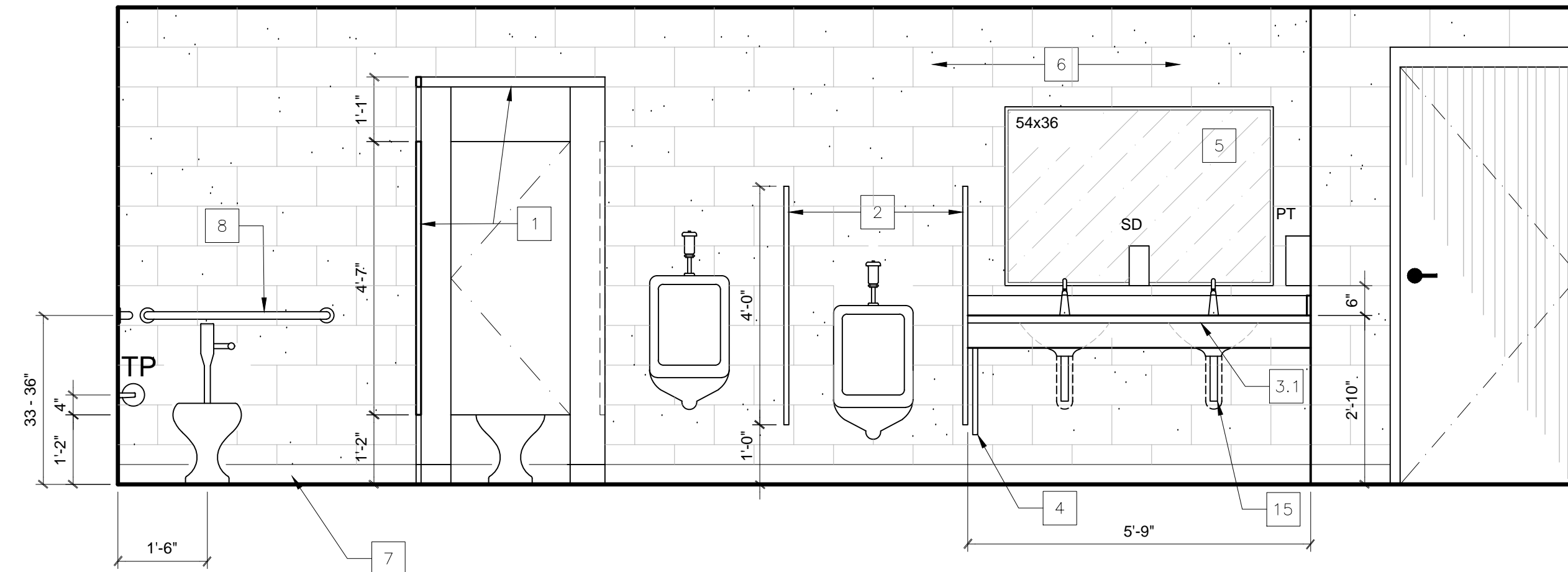
1 Enlarged Floor Plan - Toilets

Scale: 1/4" = 1'-0"



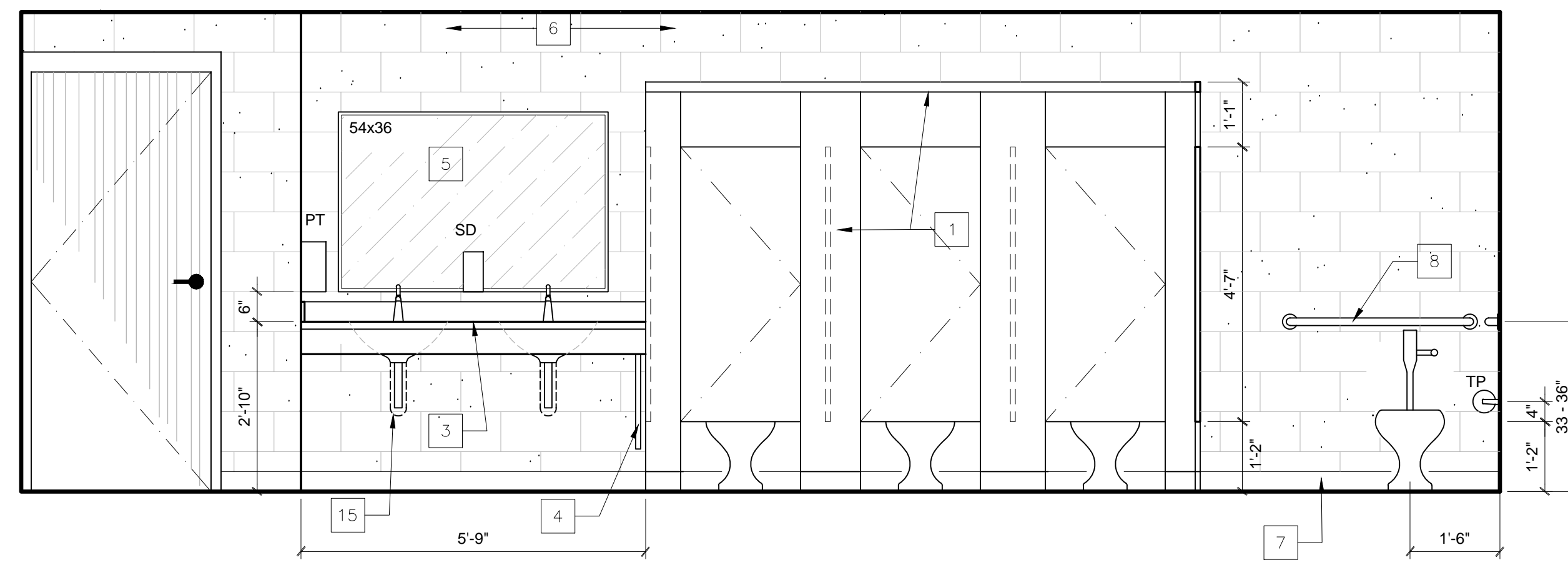
2 Interior Elevation - Mothers Rm. 106

Scale: 1/2" = 1'-0"



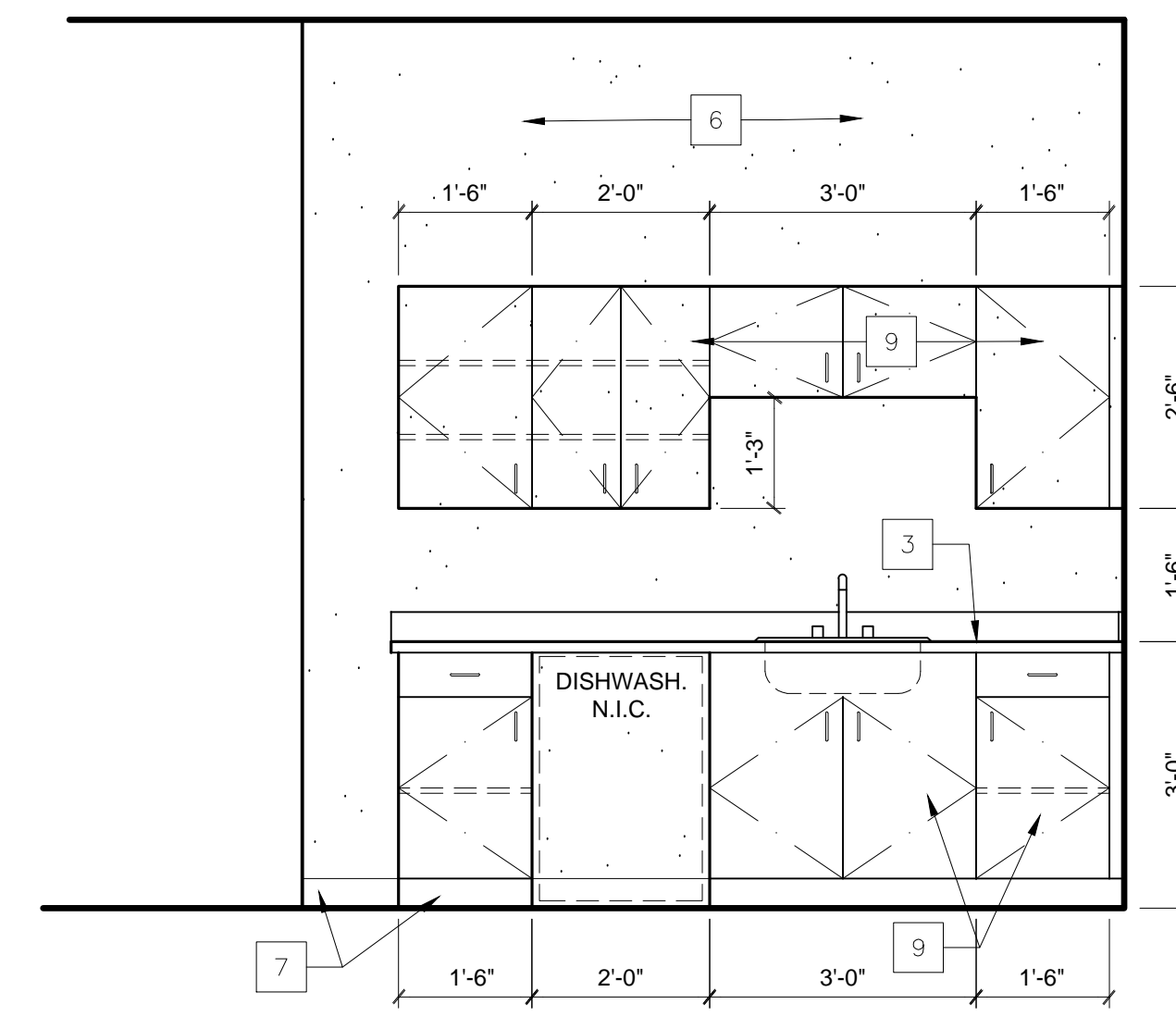
3 Interior Elevation - Mens 130

Scale: 1/2" = 1'-0"



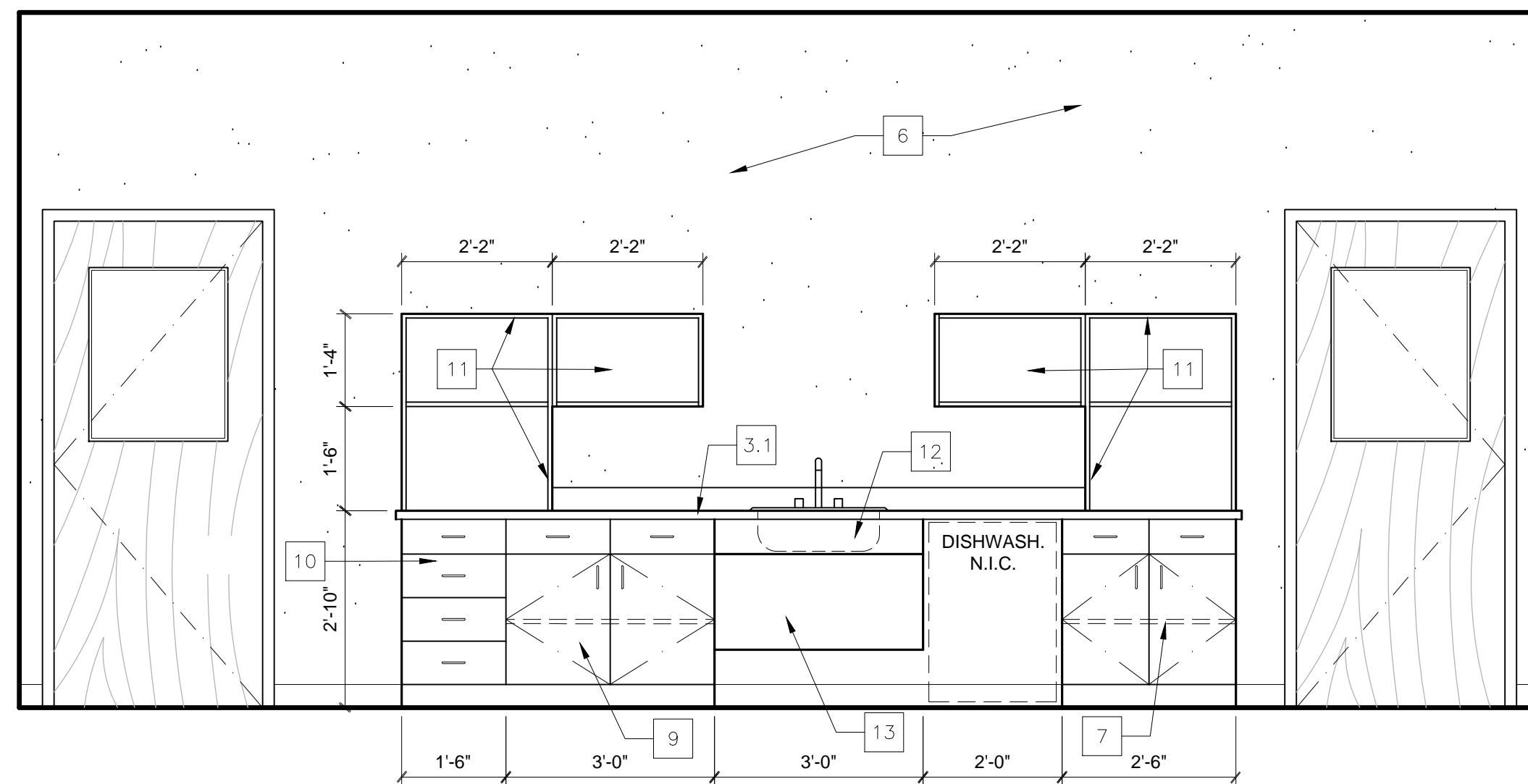
4 Interior Elevation - Womens 131

Scale: 1/2" = 1'-0"



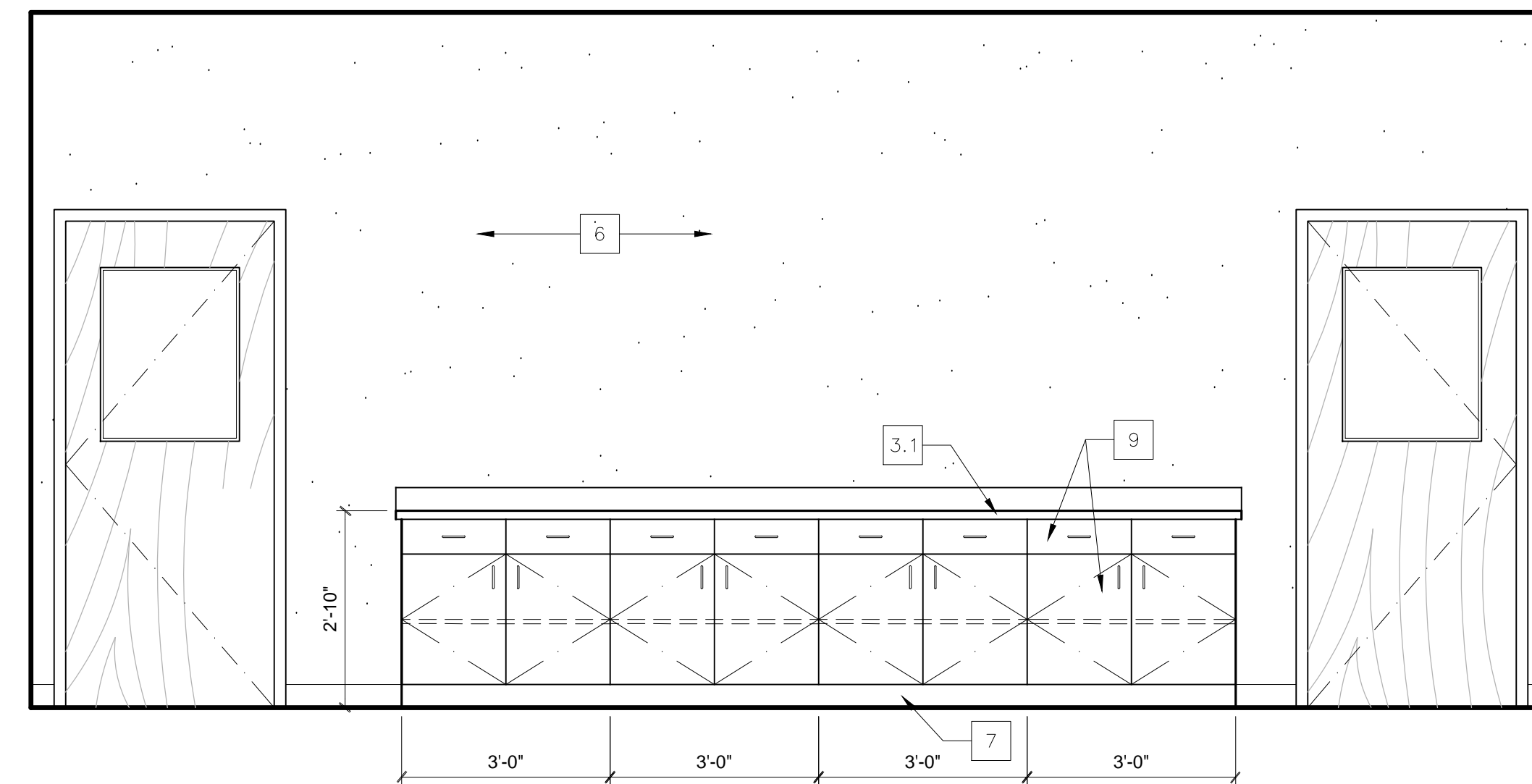
5 Interior Elevation - Service 116

Scale: 1/2" = 1'-0"



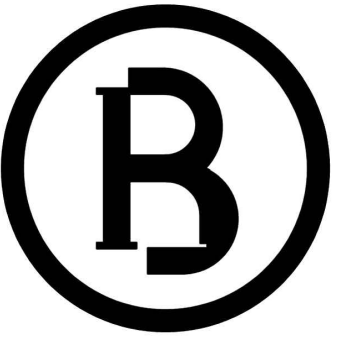
6 Interior Elevation - Vending 133

Scale: 1/2" = 1'-0"



7 Interior Elevation - Lunch 134

Scale: 1/2" = 1'-0"



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PROPOSED
Design Assurance Building
RATEC INDUSTRIES INC.
2106 Riverside Road . . . St. Joseph, Missouri

100% REVIEW SET

River Bluff Architects, Inc.
Missouri State Cert. of Authority
#A-2008008319

June 8, 2017

Toilet Plan
Interior
Elevations

A601